



DATED THIS 23RD DAY OF OCTOBER, 2025

I MATTHEW M. BOMSTAD, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT IN MY PROFESSIONAL OPINION THIS PRELIMINARY PLAT IS A CORRECT REPRESENTATION OF ALL EXISTING LAND DIVISION FEATURES, AND THAT I HAVE COMPLIED WITH ALL APPLICABLE ORDINANCES IN PREPARING THE SAME

SURVEYOR:  
MATTHEW M. BOMSTAD, PLS S-53244-B  
BOLTON-MENK  
11414 WEST PARK PLACE, SUITE 107  
MILWAUKEE, WI 53224  
MATT.BOMSTAD@BOLTON-MENK.COM

SURVEYOR FOR:  
VIRTUS DEVELOPMENT  
C/O DAVID KOZIOU  
13890 BISHOPS DRIVE, SUITE 250  
BROOKFIELD, WI 53005

OWNER:  
VILLAGE OF PALMYRA

**GENERAL**  
- PER 10/29/2025 CORRESPONDANCE FROM BOLTON & MENK, INCORRECT FILE FROM SEH WAS USED TO PRODUCE THE PLAT SHOWN BELOW.  
- THIS MAY RESULT IN THE DISCREPANCY OF LOTS IN THE VARIOUS PHASES. COORDINATION BETWEEN APPROVED NUMBER OF LOTS PER GDP SHOULD BE INCLUDED IN FINAL PLAT  
- BOLTON & MENK STATED THEY WILL BE PROVIDING AN UPDATED PLAT 10/30 OR 10/31 FOR MSA REVIEW  
- UPDATED PLAT SHALL CONFIRM LOT SIZE & BUILDABILITY WITH UPDATED LOT CONFIGURATION  
- MSA WILL REVIEW UPDATED PLAT & PROVIDE COMMENTS TO DEVELOPER & VILLAGE. ALL COMMENTS MUST BE ADDRESSED PRIOR TO FINAL APPROVAL

**COMMENTS FROM PREVIOUS SUBMITTAL:**

ANY EXISTING EASEMENTS?

HAVE UTILITY EASEMENTS BEEN DISCUSSED? FRONT/BACK OF LOT? ADJACENT TO ROW?

PARKLAND DEDICATION? LABEL OL AS AGREED IN GDP

REVIEW STREET NAMES

FLOODPLAIN/WETLAND SETBACK NOT SHOWN

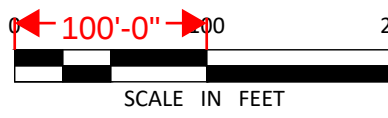
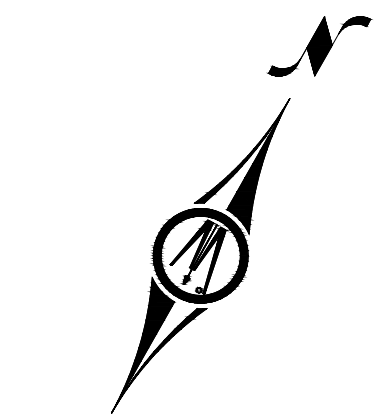
ORDINANCES MENTION LOCATION AND SPECIES OF MATURE TREES NEED TO BE SHOWN FOR THOSE OUTSIDE OF WOODLAND AREAS

CBU LOCATIONS SHOULD BE IDENTIFIED & COORDINATED WITH USPS. PROVIDE EASEMENTS OR OUTLOTS WITH DESCRIPTION OF RESPONSIBILITIES

WORKFLOW OF ROW VACATION & PLATT NEEDS TO BE COORDINATED - MULTIPLE LOTS SHOWN ON PLAT ARE WITHIN EXISTING MARSH ROAD ROW

PRELIMINARY PLAT OF **WESTFIELD**

ALL OF LOTS 1, 2, AND 3 OF PROPOSED CERTIFIED SURVEY MAP, LOCATED IN THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST QUARTER OF SECTION 28, AND THE NORTHWEST 1/4 AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 05 NORTH, RANGE 16 EAST, VILLAGE OF PALMYRA, JEFFERSON COUNTY, WISCONSIN



BEARING AND DISTANCES REFERENCED TO THE JEFFERSON COUNTY COORDINATE SYSTEM OF WHICH THE NORTH LINE OF THE NE 1/4 OF SECTION 28-05-16 IS ASSUMED TO BEAR S 88°54'52" E. VERTICAL DATUM BASED ON NAVD88.

DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'

ANGLES ARE COMPUTED TO THE NEAREST 00°00'00.5" AND MEASURED TO THE NEAREST 00°00'00.5"

CONFIRM THIS IS ACCURATE, BASED ON DELINEATED WETLAND REPORT, APPEARS MAXIMUM 30' SETBACK IS WARRANTED

UPDATE LINEWORK

PROPOSED PRIVATE PARK PER GDP?

UPDATE TO ACCURATE WIDTH

ARE THESE SUPPOSED TO BE TREELINE?

UPDATE TO ACCURATE WIDTH

NUMBER OF LOTS

18 - PHASE 1 PREVIOUS SUBMITTAL

17 - PHASE 1 CURRENT SUBMITTAL

NUMBER OF LOTS

15 - PHASE 2 PREVIOUS SUBMITTAL

14 - PHASE 2 CURRENT SUBMITTAL

NUMBER OF LOTS

31 - PHASE 3 PREVIOUS SUBMITTAL

28 - PHASE 3 CURRENT SUBMITTAL

SW EASEMENT ALONG BACK SIDE FOR PIPE INTO WET POND

VISION CORNERS AT PUBLIC INTERSECTIONS (ALL)

ROAD NAMES TO BE INCLUDED IN FINAL RECORDING

**LOT 1**  
532,712 S.F.  
12.23 AC.

**LOT 2**  
962,285 S.F.  
22.09 AC.

**LOT 3**  
856,390 S.F.  
19.66 AC.

**LOT 4**  
1,349,645 S.F.  
30.98 AC.

PRELIMINARY PLAT OF WESTFIELD  
VILLAGE OF PALMYRA, JEFFERSON COUNTY, WISCONSIN



11414 WEST PARK PLACE  
SUITE 107  
MILWAUKEE, WI 53224  
(262) 699-0473

PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 28, AND THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 05 NORTH, RANGE 16 EAST  
FOR: VILLAGE OF PALMYRA, JEFFERSON COUNTY, WISCONSIN

JOB NUMBER: 25X.141005.001

DRAWN BY: MMB



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Note 8 on Preliminary Plat needs to be updated to accurately note zoning as shown below (red are corrections).

NOTE #8 ON PRELIMINARY PLAT

R1-4 in PUD overlay

- LOT 1
- LOTS 11-24
- LOTS 67, 70-104

R1-5 in PUD overlay

- LOT 2-10
- LOTS 25-47
- LOTS 51-66

R3-12 in PUD overlay

- LOT 48 (townhomes)
- LOT 49 (MF)
- LOT 50 (MF)
- LOT 68 (townhomes)

B-2 in PUD overlay

- LOT 69

| CURVE TABLE |        |        |           |
|-------------|--------|--------|-----------|
| CURVE #     | LENGTH | RADIUS | DELTA     |
| C3          | 13.91  | 15.00  | 53°07'48" |
| C4          | 13.91  | 15.00  | 53°07'48" |

OL 4  
117,379 SF

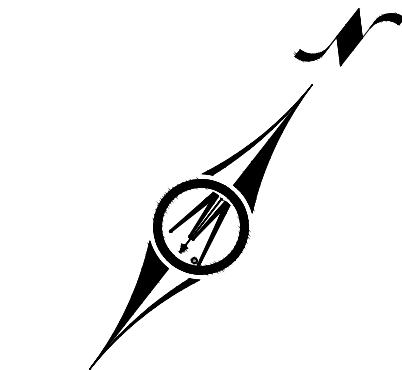
STORM WATER &  
DRAINAGE  
EASEMENT

EXTEND SW  
EASEMENT TO  
ALLOW FOR  
MAINTENANCE  
ACCESS OF PIPE

PRELIMINARY PLAT OF

WESTFIELD

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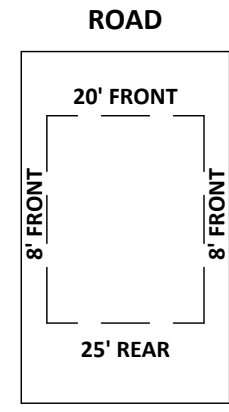
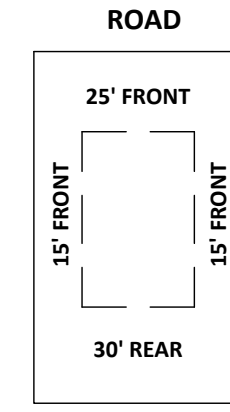
60'-0" 120'  
SCALE IN FEET

BEARING AND DISTANCES REFERENCED TO THE JEFFERSON COUNTY COORDINATE SYSTEM OF WHICH THE NORTH LINE OF THE NE 1/4 OF SECTION 28-05-16 IS ASSUMED TO BEAR S 88°54'52" E. VERTICAL DATUM BASED ON NAVD83.

DISTANCES ARE COMPUTED TO THE NEAREST 0.01' AND MEASURED TO THE NEAREST 0.01'

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CONFIRM  
CONSTRUCTABILITY  
GIVEN GEOMETRY &  
SETBACKS



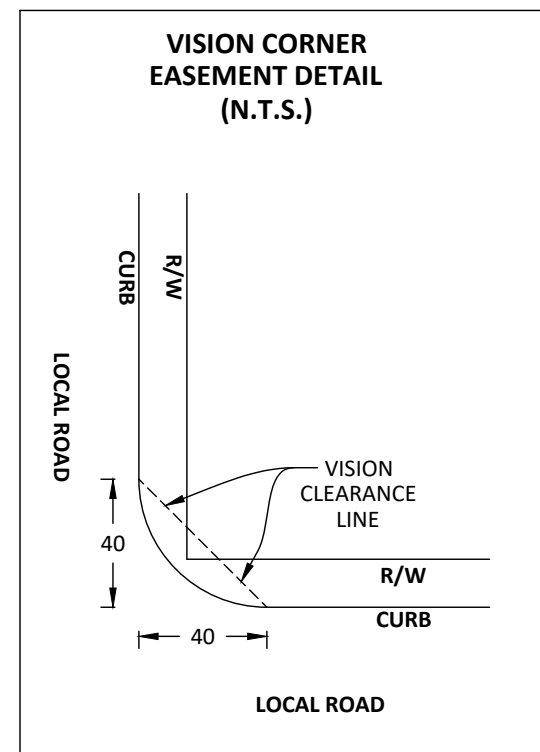
CONFIRM THAT  
DEVELOPERS  
AGREEMENT STATES  
VILLAGE WILL OWN OL  
& MAINTAIN THE SW  
BMPs

DETAILS ON WHAT THE  
EASEMENTS ALLOW  
AND/OR RESTRICT

SURVEY NOTES:

- TOTAL AREA = 2,351,387 SQ. FT. (± 53.98 ACRES)
- EACH INDIVIDUAL LOT OWNER SHALL HAVE UNDIVIDED FRACTIONAL OWNERSHIP OF THE CREATED COMMUNITY ASSOCIATION OF OUTLOTS 1-11 AND SHALL BE LIABLE FOR AN EQUAL AND UNDIVIDED FRACTIONAL SHARE OF THE COST TO MAINTAIN SAID OUTLOTS. JEFFERSON COUNTY SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL ASSESSMENTS THE EVENT THEY BECOME OWNER OF ANY LOT OR OUTLOT IN THE SUBDIVISION BY REASON OF TAX DELINQUENCY.
- STORM WATER MANAGEMENT FACILITIES ARE LOCATED IN OUTLOTS 4, 5, 6, 8, AND 9. THE OWNERS OF THE RESIDENTIAL LOTS SHALL BE EACH LIABLE FOR AN EQUAL UNDIVIDED FRACTIONAL SHARE OF THE COST TO REPAIR, MAINTAIN, AND RESTORE SAID STORMWATER MANAGEMENT FACILITIES.
- ALL EASEMENTS ARE GRANTED TO THE VILLAGE OF PALMYRA UNLESS OTHERWISE NOTED.
- SITE IS IN ZONE "X", AREAS OF 0.2% ANNUAL CHANCE FLOOD AND ZONE "A" FLOOD ELEVATIONS, PER FEMA FLOOD INSURANCE MAP (FIRM) 55055C0476F, MAP REVISED FEBRUARY 4TH, 2015.
- THIS LAND DIVISION IS TO BE SERVED BY PUBLIC SANITARY SEWER AND WATER.
- ALL ELECTRIC, TELEPHONE, AND COMMUNICATION DISTRIBUTION LINES AND LATERALS, INCLUDING CATV CABLES, CONSTRUCTED AFTER THE RECORDING OF THIS SUBDIVISION PLAT SHALL BE PLACED UNDERGROUND.
- PROPOSED ZONING IS R1-4 FOR LOT 1, LOTS 11 THROUGH 24, AND LOTS 70 THROUGH 104. PROPOSED R1-5 ZONING FOR LOTS 2 THROUGH 10, LOTS 25 THROUGH 47, AND LOTS 53 THROUGH 69. LOTS 48 AND 52 ARE TOWNHOMES. LOTS 49 AND 50 ARE MULTIFAMILY HOMES.
- SUBDIVISION TO BE CONSTRUCTED IN PLATTED PHASES.
- OUTLOT 1 SERVES AS ACCESS TO LOTS 1 THROUGH 10 AND LOTS 77 THROUGH 84.

UTILITY EASEMENTS?



LEGEND

|   |                        |   |                           |
|---|------------------------|---|---------------------------|
| ○ | IRON PIPE MONUMENT SET | □ | PEDESTAL-COMMUNICATION    |
| ● | MONUMENT FOUND         | □ | PEDESTAL-ELECTRIC         |
| ⊙ | BUSH                   | □ | POLE-UTILITY              |
| ⊙ | CULVERT                | □ | POST                      |
| ⊙ | FIRE HYDRANT           | □ | SIGN NON TRAFFIC          |
| ⊙ | FLARED END / APRON     | □ | SIGN NON TRAFFIC-ELECTRIC |
| ⊙ | GUY WIRE ANCHOR        | □ | TREE-CONIFEROUS           |
| ⊙ | HANDHOLE               | □ | TREE-DECIDUOUS            |
| ⊙ | LIGHT POLE             | □ | TREE STUMP                |
| ⊙ | MAILBOX                | □ | VALVE                     |
| ⊙ | MANHOLE-COMMUNICATION  | □ | WETLAND                   |
| ⊙ | MANHOLE-ELECTRIC       | □ | ADJACENT                  |
| ⊙ | MANHOLE-HEAT           | □ | EASEMENT                  |
| ⊙ | MANHOLE-SANITARY SEWER | □ | PROPOSED EASEMENT         |
| ⊙ | MANHOLE-STORM SEWER    | □ | BUILDING SETBACK          |
| ⊙ | MANHOLE-UTILITY        | □ | WETLAND SETBACK           |
| ⊙ | MANHOLE-WATER          | □ | CENTERLINE                |
| ⊙ | METER                  | □ | RIGHT OF WAY              |
| ⊙ | ELECTRIC UNDERGROUND   | □ | SIXTEENTH LINE            |
| ⊙ | FIBER UNDERGROUND      | □ | QUARTER LINE              |
| ⊙ | GAS UNDERGROUND        | □ | SECTION LINE              |
| ⊙ | OVERHEAD ELECTRIC      | □ | INTERMEDIATE CONTOUR      |
| ⊙ | SANITARY SEWER         | □ | INDEX CONTOUR             |
| ⊙ | STORM SEWER            | □ | WETLAND EDGE              |
| ⊙ | WATER SYSTEM           | □ | EDGE OF BUSHES            |
| ⊙ | FENCE                  | □ | EDGE OF TREES             |
| ⊙ | FENCE - WOOLVEN WIRE   | □ | PHASE LINE                |

SHEET 2 OF 4 - PHASE III DETAIL

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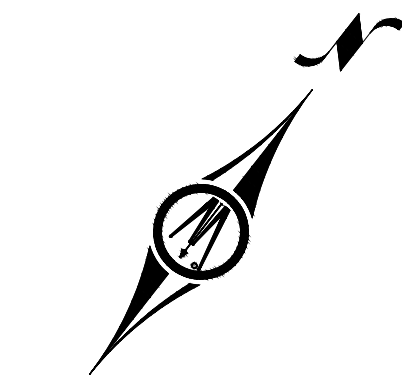
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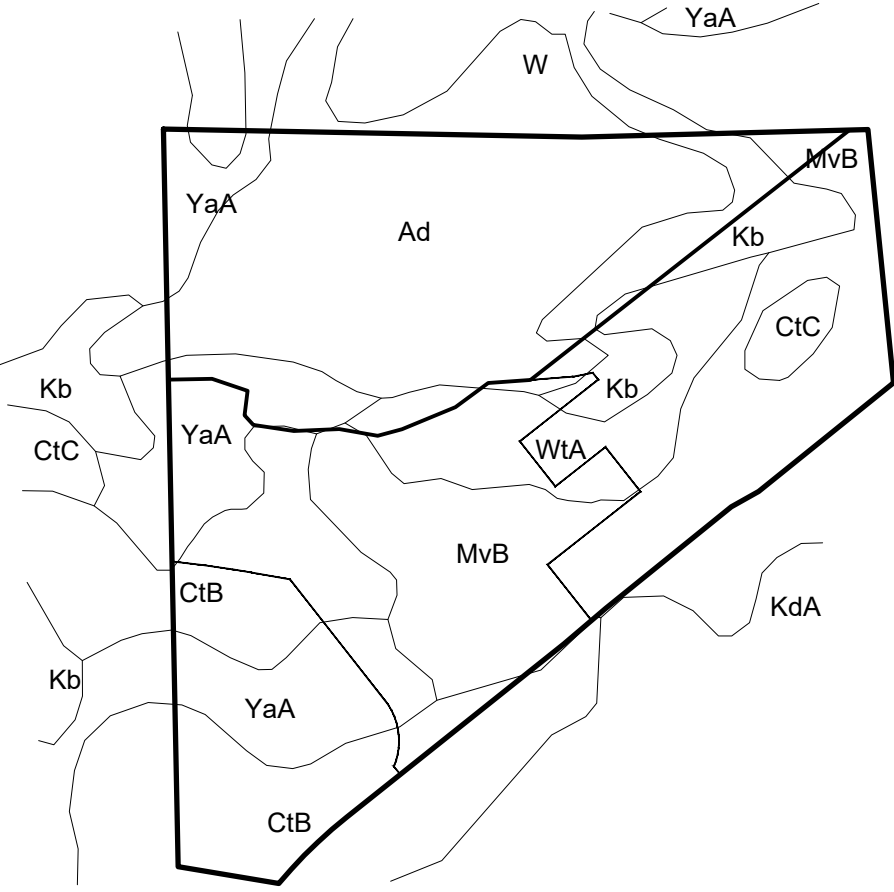
0 60 120  
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SOILS MAP  
SCALE: 1:600



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**SHEET 3 OF 4 - PHASE I DETAIL**

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VILLAGE OF PALMYRA, JEFFERSON COUNTY, WISCONSIN

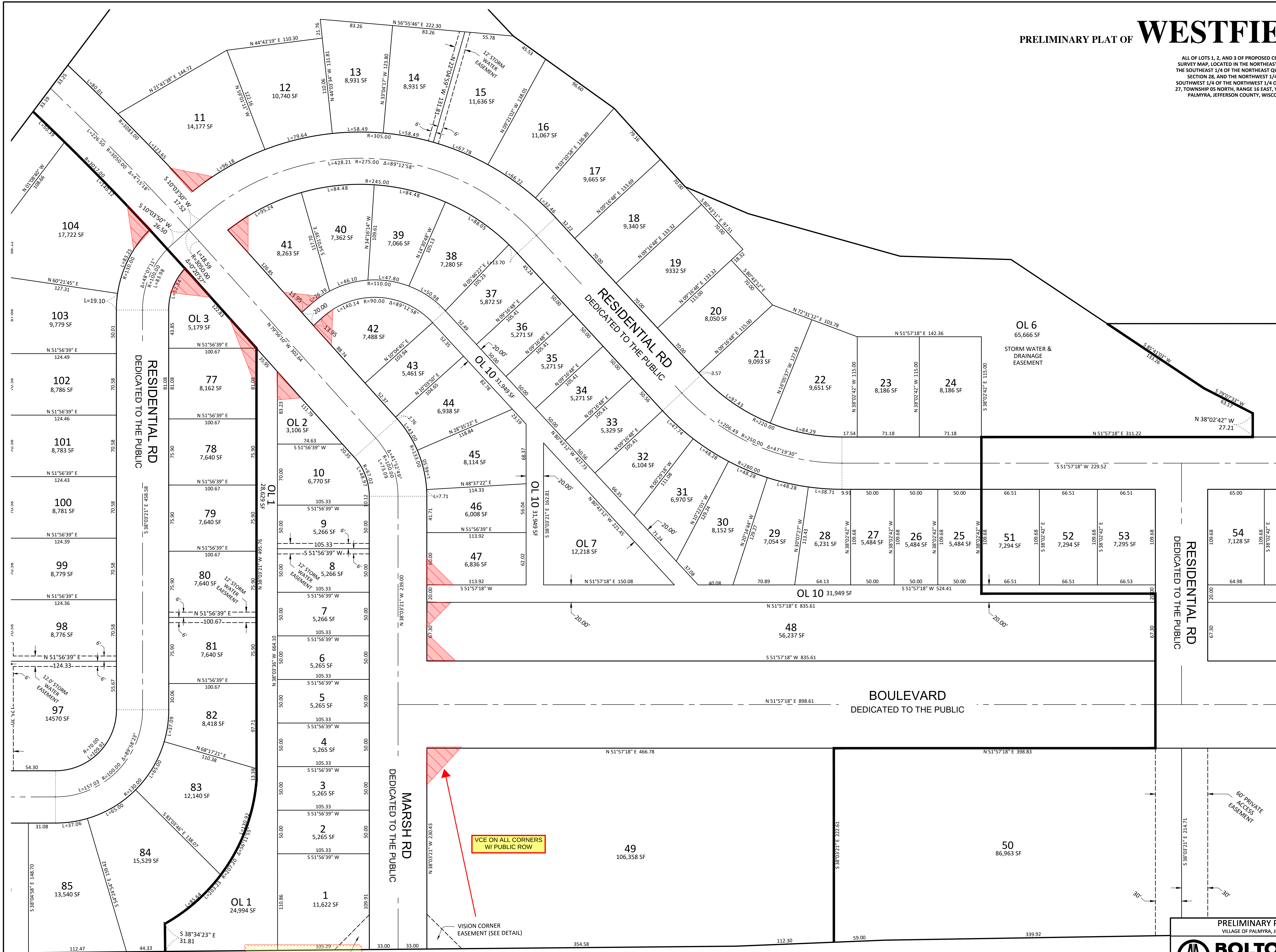


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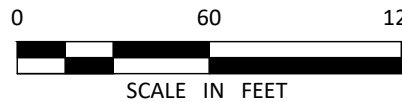
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OL 6  
65,666 SF  
FORM WATER  
DRAINAGE  
EASEMENT

OL 8  
164,009 SF  
FORM WATER  
DRAINAGE  
EASEMENT

RESIDENTIAL RD  
DEDICATED TO THE PUBLIC

RESIDENTIAL RD  
DEDICATED TO THE PUBLIC

BOULEVARD  
DEDICATED TO THE PUBLIC

| CURVE TABLE |        |        |           |
|-------------|--------|--------|-----------|
| CURVE #     | LENGTH | RADIUS | DELTA     |
| C1          | 16.83  | 30.00  | 32°08'18" |
| C2          | 5.61   | 10.00  | 32°08'18" |



DATED THIS 23RD DAY OF OCTOBER, 202

**SHEET 4 OF 4 - PHASE II DETAIL**

**PRELIMINARY PLAT OF WESTFIELD**  
VILLAGE OF PALMYRA, JEFFERSON COUNTY, WISCONSIN



# BOLTON & MENK

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TOWNSHIP 05 NORTH, RANGE 16 EAST

FOR: VILLAGE OF PALMYRA, JEFFERSON  
COUNTY, WISCONSIN